

Motion and
Statement of Consistency with Comprehensive Plan
F-1583

I move that the following statement be adopted in support of a **Motion to Approve** Zoning Map Amendment F-1583:

The proposed special use zoning map amendment, as petitioned by Raeford Kirkman, Lynn Hayes, and Inez Motsinger to rezone a 92.66 acre piece of property from AG to LI-S (Building materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities) and a Special Intense Development Allocation (SIDA) is consistent with the recommendations of the Legacy Comprehensive Plan and reasonable or in the public interest because:

1. The subject property is located across the street from the Union Cross Business Park and sites with LI-S and LI zoning and is adjacent to property with GI-S zoning. The use proposed for the subject property would be consistent with the current and planned uses for these adjacent and nearby properties.
2. The proposed use for the subject property would generate some additional traffic, but this section of Wallburg Road is classified as a major thoroughfare and has excess capacity. The developer will be required to make substantial roadway improvements. The proposed project has good transportation access.
3. The proposed project will provide a significant economic benefit to the community by creating jobs and increasing the property tax base. The proposed site plan would protect water quality and would not pose a threat to the environment.
4. The subject property is located in GMA 4, future growth area, which is suitable for LI-S zoning.
5. There is sufficient balance in the Abbots Creek Watershed SIDA allotment for this project, which would allow up to 70 percent

impervious coverage for the site. If this request is granted, 194.13 acres of the allotment would remain. The proposed use is an appropriate use of the SIDA allotment.

Based on the foregoing Statement, I move adoption of F-1583.

Second:

Vote:

Motion and
Statement of Consistency with Comprehensive Plan
F-1583

I move that the following statement be adopted in support of a **Motion to Deny** Zoning Map Amendment F-1583:

The proposed special use zoning map amendment, as petitioned by Raeford Kirkman, Lynn Hayes, and Inez Motsinger to rezone a 92.66 acre piece of property from AG to LI-S (Building materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities) and a Special Intense Development Allocation (SIDA) is inconsistent with the recommendations of the Legacy Comprehensive Plan and is neither reasonable nor in the public interest because:

1. The subject property is adjacent to property with AG zoning. The use proposed for the subject property would be inconsistent with the current and planned low-density residential uses for these adjacent properties.
2. The proposed use for the subject property would generate additional traffic which could interfere with the neighboring properties.
3. The proposed project could generate excessive noise and light which would disturb the neighboring residential properties.
4. There proposed use of Abbots Creek Watershed SIDA allotment would restrict future development in the area and is not an appropriate use of such allotment.

Based on the foregoing Statement, I move denial of F-1583.

Second:

Vote:

FORSYTH COUNTY
BOARD OF COMMISSIONERS

MEETING DATE: January 24, 2018 **AGENDA ITEM NUMBER:** _____

SUBJECT:-

- A. Public Hearing on Zoning Map Amendment of Raeford Kirkman, Lynn Hayes and Inez Motsinger from AG to LI-S (Building Materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities) and a Special Intense Development Allocation (SIDA): Property is Located on the Northeast Corner of Wallburg Road and Sherlie Weavil Road (Zoning Docket F-1583)
- B. Ordinance Amending the Forsyth County Zoning Ordinance and Official Zoning Map of the County of Forsyth, North Carolina
- C. Approval of Special Use District Permit
- D. Approval of Site Plan

COUNTY MANAGER'S RECOMMENDATION OR COMMENTS:-

SUMMARY OF INFORMATION:-

See attached staff report.

After consideration, the Planning Board recommended Approval of the rezoning petition.

ATTACHMENTS:- YES NO

SIGNATURE: _____
County Manager

DATE: _____

COUNTY ORDINANCE - SPECIAL USE

Zoning Petition of Raeford Kirkman, Lynn Hayes, and Inez Motsinger, Docket F-1583

AN ORDINANCE AMENDING
THE FORSYTH COUNTY
ZONING ORDINANCE AND THE
OFFICIAL ZONING MAP OF
THE COUNTY OF FORSYTH,
NORTH CAROLINA

BE IT ORDAINED by the Board of County Commissioners of the County of Forsyth as follows:

Section 1. The Zoning Ordinance of the *Unified Development Ordinances* of the County of Forsyth, North Carolina, and the Official Zoning Map of the County of Forsyth, North Carolina, are hereby amended by changing from AG to LI-S (Building Materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities) and a Special Intense Development Allocation (SIDA) the zoning classification of the following described property:

PIN#s 6863-44-1717, 6863-45-2154, 6863-45-6988, and 6863-55-7021

Section 2. This Ordinance is adopted after approval of the site plan entitled Medline Industries, and identified as Attachment A of the Special Use District Permit issued by the Forsyth County Board of Commissioners the _____ day of _____, 20____ to Raeford Kirkman, Lynn Hayes, and Inez Motsinger.

Section 3. The Board of Commissioners hereby directs the issuance of a Special Use District Permit pursuant to the Zoning Ordinance of the *Unified Development Ordinances* for a development to be known as Medline Industries. Said Special Use District Permit and site plan with associated documents are attached hereto and incorporated herein.

Section 4. This Ordinance shall be effective from and after its adoption.

COUNTY, SPECIAL USE DISTRICT PERMIT

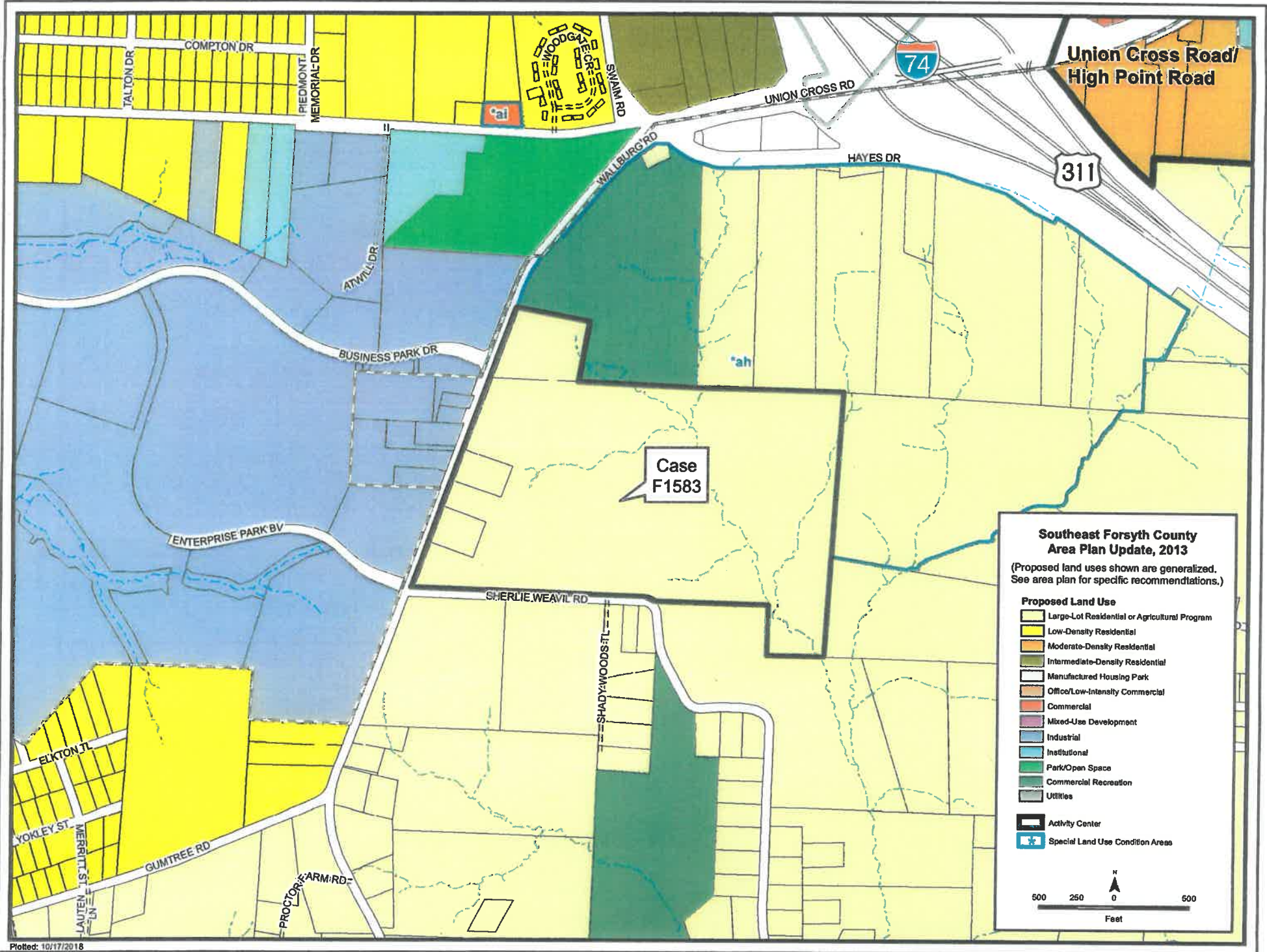
SPECIAL USE DISTRICT PERMIT

Issued by the Forsyth County
Board of Commissioners

The Forsyth County Board of Commissioners issues a Special Use District Permit for the site shown on the site plan map included in this zoning petition of Raeford Kirkman, Lynn Hayes, and Inez Motsinger (Zoning Docket F-1583). The site shall be developed in accordance with the plan approved by the Board and bearing the inscription: "Attachment A, Special Use District Permit for LI-S (Building Materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities) and a Special Intense Development Allocation (SIDA), approved by the Forsyth County Board of Commissioners the ____ day of _____, 20 ____" and signed, provided the property is developed in accordance with requirements of the LI-S zoning district of the Zoning Ordinance of the *Unified Development Ordinances* of the County Code, the Erosion Control Ordinance, and other applicable laws, and the following conditions be met:

- **PRIOR TO THE ISSUANCE OF GRADING PERMITS:**
 - a. Developer shall obtain a Watershed Permit from the Erosion Control Officer.
 - b. Developer shall obtain all necessary permits (including stormwater and wetlands impacts) from the NC Division of the Environment and Natural Resources (DENR) and/or the US Army Corp of Engineers.
 - c. Developer shall obtain a driveway permit from NCDOT. Improvements shall include:
 - Dedication of ten (10) feet of additional right-of-way along Wallburg Road and as necessary along Sherlie Weavil Road.
 - Dedication of right-of-way for the extension of Business Park Drive to the eastern property line.
 - Modification of the traffic signal at the intersection of Wallburg Road and Business Park Drive to add a fourth leg and provide a two-lane approach consisting of an exclusive left turn lane and a shared through/right lane.

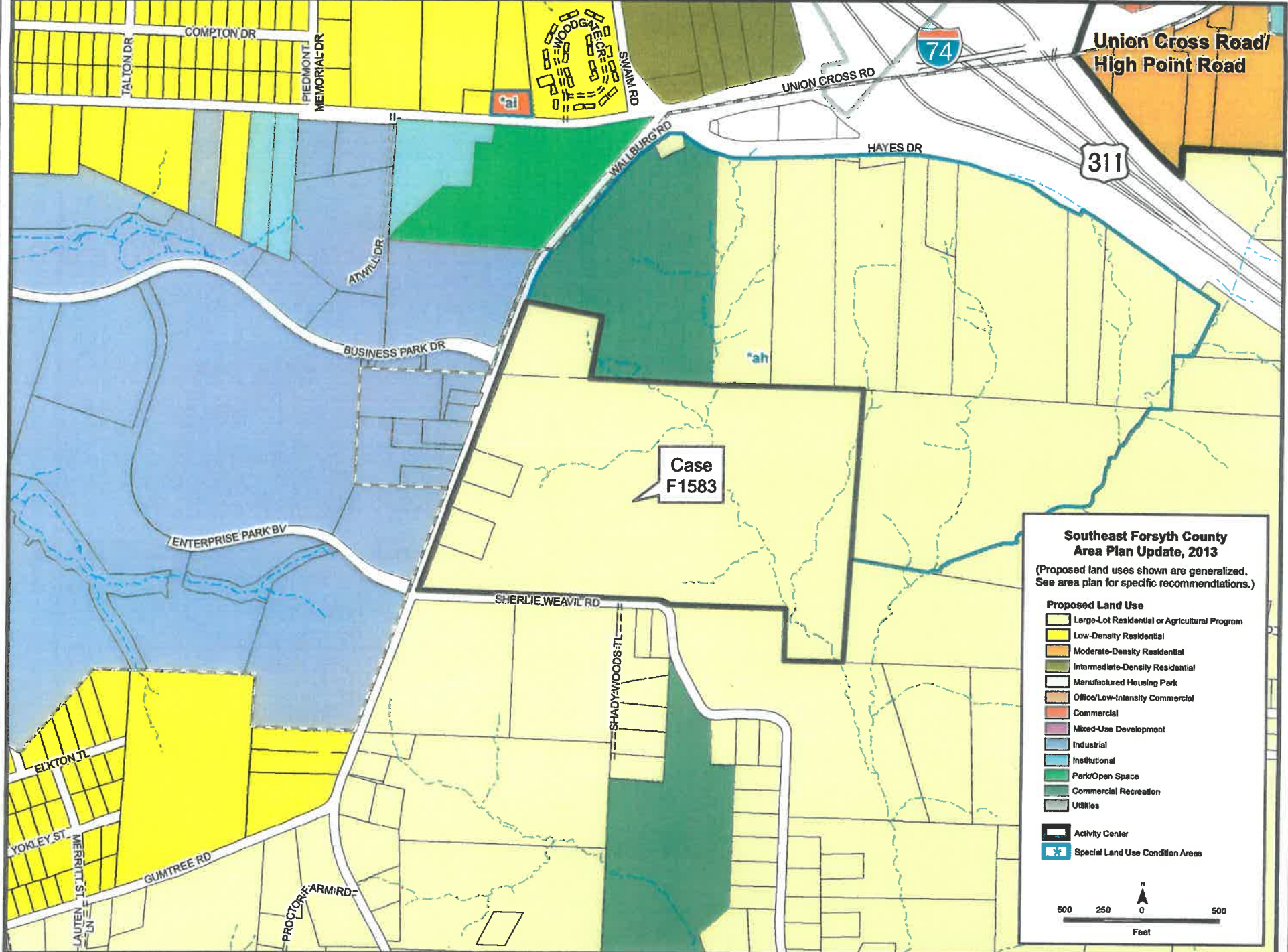
- Widen Wallburg Road 18 feet from center beginning 200 feet north of Business Park Drive with curb and gutter and sidewalk along the entire frontage.
 - Provide an exclusive southbound left turn and northbound right turn lanes on Wallburg Road at Business Park Drive and provide a minimum of 200 feet of full left turn storage and 100 feet of full right turn storage in addition to appropriate taper lengths.
 - Realign Sherlie Weavil Road to intersect opposite Enterprise Park Boulevard and widen the western portion of Sherlie Weavil Road between Wallburg Road and the easternmost truck entrance to three lanes.
- **PRIOR TO THE ISSUANCE OF BUILDING PERMITS:**
 - a. An engineered lighting plan shall be submitted to Inspections for the proposed lighting demonstrating the use of full-cut off fixtures, light height of 25' or less and no more than 0.5 foot-candles along the Wallburg Road and the Sherlie Weavil Road frontages.
 - b. The proposed building plans shall be in substantial conformance with the submitted elevations as shown on "Elevation A" as verified by Planning staff.
 - c. All utilities on the site shall be underground.
- **PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS:**
 - a. Lighting shall be installed per approved lighting plan and certified by an engineer.
 - b. Developer shall complete all requirements of the driveway permit.
 - c. All NCDENR requirements shall be completed.
 - d. Freestanding signage along Wallburg Road shall be limited to two (2) monument signs with a maximum height of eight (8) feet and a maximum copy area of seventy five (75) square feet.
 - e. Any chain link fencing shall not be visible from any public right-of-way.
 - f. Building shall be constructed in substantial conformance with the approved building elevations as approved by Planning staff.
- **OTHER REQUIREMENTS:**
 - a. Developer shall install 14 Primary Evergreens per 100 linear feet along all street frontage berms.
 - b. Developer shall continue the berm and street frontage plantings east along Sherlie Weavil Road to tie into the required bufferyard too fully screen the site from Sherlie Weavil Road.

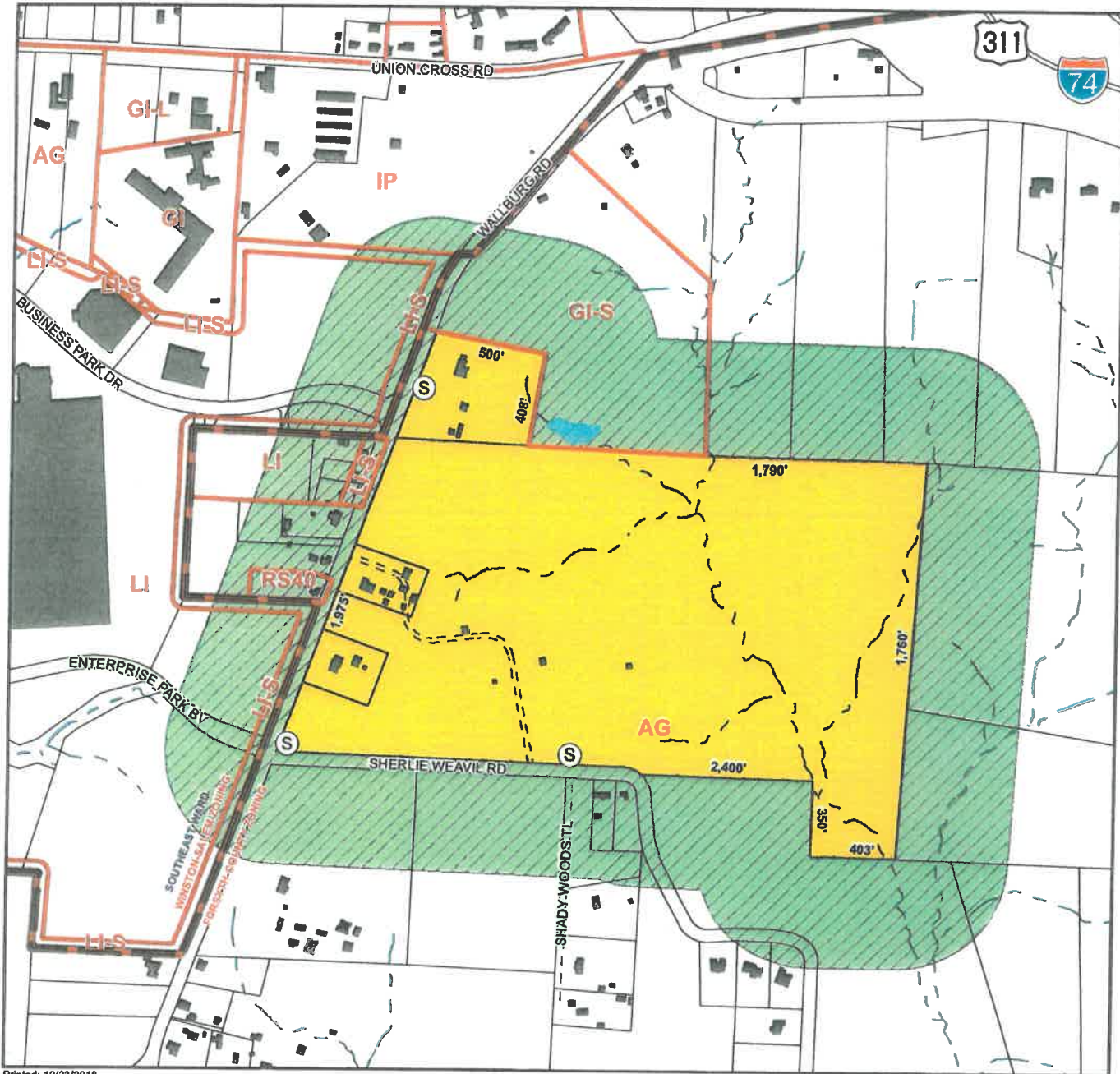


Union Cross Road/
High Point Road

Case
F1583

74
311




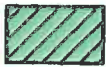


DOCKET #: F1583

PROPOSED ZONING:
LI-S and SIDA

EXISTING ZONING:
AG

PETITIONER:
Medline Industries

-  Property included in zoning request.
-  500' mail notification radius. Property not in zoning request.

SCALE: 1" represents 700'

STAFF: Roberts

GMA: 4

ACRES: 92.66

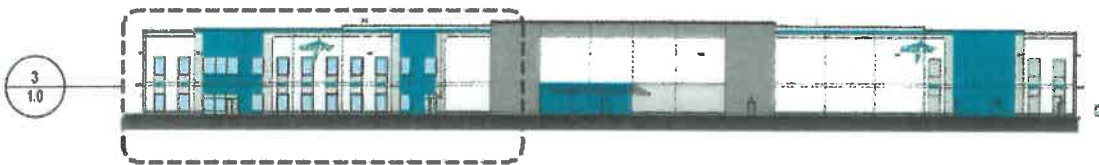
NEAREST BLDG: 62' west

MAP(S): 6863.01, 6863.02, 6863.03, 6863.04

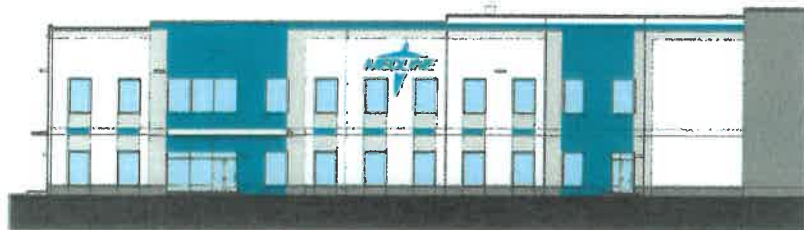




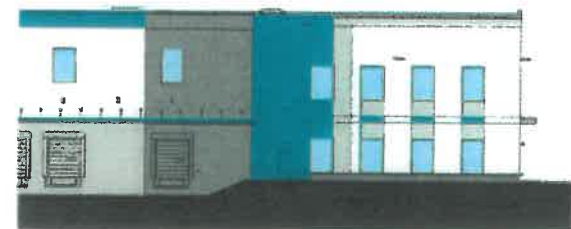
1 NORTH ELEVATION - Design Review
SCALE: 1" = 60'-0"



2 WEST ELEVATION - Design Review
SCALE: 1" = 60'-0"



3 ENLARGED WEST ELEVATION
SCALE: 1" = 30'-0"



4 ENLARGED NORTH ELEVATION
SCALE: 1" = 30'-0"



December 21, 2018

Steve Causey
Allied Design, Inc.
4720 Kester Mill Road
Winston-Salem, NC 27103

Re: Zoning Petition F-1583

Bryce A. Stuart Municipal Building
100 E. First Street
P.O. Box 2511
Winston-Salem, NC 27102
CityLink 311 (336.727.8000)
Fax 336.748.3163
www.cityofws.org/planning

Dear Petitioner:

The attached report of the Planning Board to the Forsyth County Board of Commissioners is sent to you at the request of the Commissioners. You will be notified by the Board of Commissioner’s Office of the date on which the Commissioners will hear this petition.

Sincerely,

Aaron King
Director of Planning and Development Services

pc: Clerk to the Board of Commissioners Forsyth County Government Center, 5th Floor, 201 N. Chestnut Street, Winston-Salem, NC 27101
Barry Greeson, 4228 Sherlie Weavil Road, Winston-Salem, NC 27107
Charlotte Idol, 4143 Wallburg Road, Winston-Salem, NC 27107

**CITY-COUNTY PLANNING BOARD
STAFF REPORT**

PETITION INFORMATION	
Docket #	F-1583
Staff	Gary Roberts, Jr. AICP
Petitioner(s)	Raeford Kirkman, Lynn Hayes, and Inez Motsinger
Owner(s)	Same
Subject Property	PIN#s 6863-44-1717, 6863-45-2154, 6863-45-6988, and 6863-55-7021
Address	4035, 4075, and 4089 Wallburg Road
Type of Request	Special use rezoning from AG to LI-S and a Special Intense Development Allocation (SIDA)
Proposal	<p>The petitioner is requesting to amend the Official Zoning Maps for the subject property from AG (Agricultural – 40,000 sf minimum lot size) to LI-S (Limited Industrial – special use). The petitioner is requesting the following uses:</p> <ul style="list-style-type: none"> • Building Materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities
Continuance History	This request was automatically continued from the November 8, 2018 Planning Board meeting to the December 13 meeting.
Neighborhood Contact/Meeting	See Attachment B for a summary of the petitioner’s neighborhood outreach.
Zoning District Purpose Statement	The LI District is primarily intended to accommodate limited manufacturing, wholesaling, warehousing, research and development, and related commercial and service activities which, in their normal operations, have little or no adverse effect upon adjoining properties. The district is established to provide locations for industrial development in GMAs 1, 2, 3 and 4 and Metro Activity Centers.
Applicable Rezoning Consideration from Chapter B, Article VI, Section 6-2.1(R)	<p>(R)(1) - Is the proposal consistent with the purpose statement(s) of the requested zoning district(s)?</p> <p>Yes, the site is located in an area with close access to I-74, it adjacent to other LI-S and GI-S zoned property, and it is located within GMA 4.</p>
GENERAL SITE INFORMATION	
Location	Northeast corner of Wallburg Road and Sherlie Weavil Road
Jurisdiction	Forsyth County
Site Acreage	± 92.66 acres
Current Land Use	Two single family homes and their associated accessory buildings are currently located along the Wallburg Road frontage of the site. The remainder of the subject property is a combination of farmland and heavily wooded areas.

Surrounding Property Zoning and Use	Direction	Zoning District	Use
	North	GI-S & AG	A former golf driving range and undeveloped property
	East	AG	Undeveloped property
	South	AG	Undeveloped property and single family homes
	West	LI-S, AG, and RS40	Union Cross Business Park, single family homes, and undeveloped property
Applicable Rezoning Consideration from Chapter B, Article VI, Section 6-2.1(R)	(R)(2) - Is/are the use(s) permitted under the proposed classification/request compatible with uses permitted on other properties in the vicinity?		
	The proposed industrial uses are compatible with the uses permitted on the adjacent LI-S and GI-S zoned properties and less compatible with some of the uses (low density residential) which are permitted on the adjacent AG and RS40 zoned properties.		
Physical Characteristics	The western portion of the site along both Wallburg Road and Sherlie Weavil Road includes a large area of farmland. This area also includes a wooded ravine where an identified wetland is located. This wetland (which is shown on the site plan and proposed for removal and development) drains to the east where two larger streams converge in the southeastern corner of the site. Additional wetland areas have been identified in this area as well. The majority of the eastern portion of the site is heavily wooded and includes some steep topography. The site plan does not include any improvements in this area. The site does not include any regulatory floodplain areas.		
Proximity to Water and Sewer	Public water is available to the site along both Wallburg Road and Sherlie Weavil Road. In regard to public sewer service, there is currently no gravity fed system on this side of Wallburg Road available to the site. The request proposes to extend the existing gravity line within the Union Cross Business Park +/-200' eastward. Sewage from the subject property would then be pumped via a private force main to said extension.		
Stormwater/ Drainage	Because the petition includes a request for Special Intense Development Allocation (SIDA) future development must utilize stormwater controls based on the Stormwater Quality Management Permit requirements of Section C.3-6 of the <i>Unified Development Ordinances</i> . The site plan depicts two stormwater management facilities.		
Watershed and Overlay Districts	The site is located within the balance area of the Abbotts Creek WS III Water Supply Watershed. The built-upon area within the balance area is limited to 24% unless SIDA is granted by the County Commissioners. The petitioner is requesting SIDA, see comments below.		
Analysis of General Site Information	As noted, the subject property is located within the Abbotts Creek watershed. The petitioners have applied for SIDA which would allow for a maximum built-upon area of 70%. See the Analysis of Site Plan Compliance with UDO Requirements section below for the evaluation of the SIDA request. The developers will also be responsible to obtaining the necessary permits regarding wetland disturbance. The site contains some steep topography but it does not include any regulatory floodplain		

areas.

RELEVANT ZONING HISTORIES

Case	Request	Decision & Date	Direction from Site	Acreage	Recommendation	
					Staff	CCPB
F-1483	AG to LI & LI-S	Approved 6-25-2007	Directly west	5.68	Approval	Approval
F-1348	AG to GI-S	Approved 11-12-2001	Directly north	22.8	Approval	Approval
F-1175	AG to LI & LI-S	Approved 11-11-1996	Directly west	398.98	Approval	Approval

SITE ACCESS AND TRANSPORTATION INFORMATION

Street Name	Classification	Frontage	Average Daily Trip Count	Capacity at Level of Service D
Wallburg Road	Major Thoroughfare	1,975'	12,000	15,800
Sherlie Weavil Road	Local Street	1,650'	NA	NA

Proposed Access Point(s) The primary access to the site would be at the existing signalized intersection of Wallburg Road and Business Park Drive. Business Park Drive would be extended eastward as a public street into the site. The site plan also includes three driveways onto Sherlie Weavil Road.

Planned Road Improvements The *Comprehensive Transportation Plan* recommends a three lane cross section with wide outside lanes, curb and gutter, and sidewalks for Wallburg Road.

Trip Generation - Existing/Proposed
Existing Zoning: AG
 92.66 acres x 43,560 sf / 40,000 = 100 units x 9.57 (SFR Trip Rate) = 957 Trips per Day

Proposed Zoning: LI-S as per the Transportation Impact Analysis
 ±2,246 Trips per Day

Sidewalks A sidewalk is currently located along the opposite side of Wallburg Road from Business Park Drive north toward Union Cross Road. Sidewalks will be provided along the subject property frontage of Wallburg Road and the new extension of Business Park Drive.

Transit Not available.

Connectivity The site plan proposes good connectivity in that it proposes an eastward extension of Business Park Drive which is intended to facilitate comprehensive development of a larger area as recommended in the *Southeast Forsyth County Area Plan Update*.

Transportation Impact Analysis (TIA) A Traffic Impact Analysis was required. See comments from NCDOT and WSDOT below.

Analysis of Site Access and Transportation Information This site is proposed to have one access off of Wallburg Road and three onto Sherlie Weavil Road. The Wallburg Road entrance will align with the existing signalized intersection with Business Park Drive. This public roadway will then be extended approximately 450' into the site with the

opportunity for further extension to the east in the future. The developer will be required to modify said existing traffic signal. The westernmost two driveways onto Sherlie Weavil Road will be for employee parking and the easternmost driveway will be used for truck access and loading. Improvements to Sherlie Weavil Road will be required in order to accommodate the large vehicles, two way traffic, and proper alignment with Enterprise Park Boulevard.

The estimated trip generation from the existing AG zoning is approximately 957 trips per day compared to 2,246 trips with the proposed zoning as per the TIA. While this represents a substantial increase, this section of Wallburg Road (which is classified as a major thoroughfare) has extra capacity and the developer will be required to make significant roadway improvements as detailed below.

With the proposed development, the Level of Service (LOS) is expected to decrease slightly. The primary access at Business Park Drive is expected to go from a LOS "B" to a LOS "C" with the traffic signal improvements. The driveways onto Sherlie Weavil Road will have an impact at the un-signalized intersection with Wallburg Road. The intersection of Sherlie Weavil Road and Wallburg Road is expected to show a decrease in the LOS. The eastbound and westbound approaches could experience extended delay in the peak hours as they are expected to operate at LOS F and LOS D respectfully. The increased delay is not expected to impact Wallburg Road as the proposed turn lanes should result in a LOS A, based on the traffic analysis. In addition, both eastbound and westbound movements have secondary access to the traffic signal at Business Park Drive.

According to the TIA, WSDOT, and NCDOT, the following road improvements will be required:

- Modify the existing traffic signal at Business Park Drive to add a fourth leg and provide a two-lane approach at this intersection consisting of an exclusive left turn lane and a shared through-right lane.
- Dedicate additional right-of-way along the frontage of Wallburg Road, widen Wallburg Road to three lanes beginning 200 feet north of Business Park Drive, and install curb and gutter and sidewalks along Wallburg Road.
- Provide exclusive southbound left turn and northbound right turn lanes on Wallburg Road at Business Park Drive. Provide a minimum of 200 feet of full left turn storage and 100 feet of full right turn storage in addition to appropriate taper lengths.
- Realign Sherlie Weavil Road to intersect opposite Enterprise Park Boulevard, provide a three-lane section on Sherlie Weavil Road

between Wallburg Road and the easternmost truck entrance.

- Extend the southbound left turn lane and provide exclusive right turn lane on Wallburg Road at Sherlie Weavil Road. Provide a minimum of 200 feet of full left turn storage and 100 feet of full right turn storage with appropriate taper lengths.

In Conclusion, this site should not have a significant impact on the adjacent transportation network. Proposed turn lanes should provide adequate storage to not impede the through movements on Wallburg Road. Various intersection approaches will experience extended delay, but the proposed site offers a secondary point of egress under traffic signal control. With the recommended improvements, WSDOT supports the development.

SITE PLAN COMPLIANCE WITH UDO REQUIREMENTS

Building Square Footage	Square Footage	Placement on Site
	660,000	Southwest portion of the site.
Parking	Required	Proposed
	221 spaces	485 spaces
Building Height	Maximum	Proposed
	70'	+/-50'
Impervious Coverage	Maximum	Proposed
	70% with SIDA	38.287%
UDO Sections Relevant to Subject Request	<ul style="list-style-type: none"> • Chapter B, Article II, Section 2-1.4 (A) Limited Industrial District • Chapter B, Article II, Section 2-5.49.1 Manufacturing B Use Conditions • Chapter C, Article IV, Watershed Protection 	
Complies with Chapter B, Article VII, Section 7-5.3	(A) Legacy 2030 policies:	Yes
	(B) Environmental Ord.	See Watershed Protection comments below.
	(C) Subdivision Regulations	NA
Analysis of Site Plan Compliance with UDO Requirements	<p>The proposed LI-S site plan includes a +/-50' tall 660,000 square foot warehousing/distribution building with its associated loading and parking areas.</p> <p>As noted previously, the 92.66 acre site is located within the balance area of the Abbotts Creek watershed. Because the build-out would result in impervious coverage of greater than 24%, the petitioners have applied for SIDA. Along with the site plan, the <i>Unified Development Ordinances</i> requires the request include the following: project timetable; anticipated addition to the property tax base; and, anticipated number of jobs created or retained. Developments for which a SIDA is granted must utilize stormwater controls based on the Stormwater Quality Management Permit requirements of Section C.3-6 of the UDO and said controls must be shown on the site plan.</p> <p>Criteria for Approval The Forsyth County Board of Commissioners shall approve the application for a SIDA based upon the request meeting</p>	

all the following criteria. *Planning staff's comments are noted below in italics.*

- a. The proposed project is in conformance with the adopted *Legacy 2030. (Yes as the request is consistent with the industrial land use recommendation of the Southeast Forsyth County Area Plan Update.)*
- b. The proposed project land use and site design are compatible with the general character of the area and surrounding land uses. *[Yes, the land uses and site design are consistent with the industrial development pattern located across Wallburg Road (Union Cross Business Park) and the undeveloped property located to the north and east. The proposed site plan (with berming and landscaping along Sherlie Weavil Road along with the lighting and signage conditions) demonstrates reasonable compatibility with the primarily undeveloped property located across Sherlie Weavil Road.]*
- c. The proposed project provides a significant economic benefit to the community by creating or retaining jobs, increasing the property tax base, or assisting an existing industry to grow and remain in Forsyth County; or the project meets an identified community need such as the provision of community facilities, retail business or personal services, or affordable housing. *(Yes, the petitioner states that the significant economic benefit met by the request will be job retention and creation. The estimated number of jobs (excluding construction) will be 400. The estimated tax base for the proposed improvements will be approximately \$40,000,000 and the project is anticipated for completion by the fall of 2020.)*
- d. The proposed project does not pose a threat to the environment, especially water quality, and appropriate measures will be taken to minimize any potential negative environmental impacts. *[The subject property will be served with public water and sewer service and the request will comply with the stormwater requirements of the NC Division of the Environment and Natural Resources (DENR).]*
- e. The proposed project has good transportation access, including proximity to major roads and/or rail lines. *[Yes, the site is located close to the I-74 interchange with Union Cross Road. The site also has extensive frontage along a major thoroughfare (Wallburg Road) a local street (Sherlie Weavil Road) and will provide an eastward extension of Business Park Drive.]*

The UDO allows ten percent (10%) of each designated watershed to be developed with up to seventy (70%) impervious coverage. In July 1, of 1995, 520 acres were assigned to the SIDA "bank" within the Abbotts Creek watershed. To date, 233.21 acres has been allotted for SIDA from the bank leaving a balance of 286.79 acres. Therefore, if the subject request is approved for this 92.66 acre site, the balance within the

	Abbotts Creek Watershed would be 194.13 acres.
CONFORMITY TO PLANS AND PLANNING ISSUES	
Legacy 2030 Growth Management Area	Growth Management Area 4 – Future Growth Area
Relevant Legacy 2030 Recommendations	<ul style="list-style-type: none"> • Protect planned industrial areas by following the recommendations of the Planning Department’s industrial sites study.
Relevant Area Plan(s)	<i>Southeast Forsyth County Area Plan Update (2014)</i>
Area Plan Recommendations	<ul style="list-style-type: none"> • The subject property is part of a larger 250 acre area within the southeast quadrant of the US 311/I-74 and Union Cross Road interchange. The recommended land use (large lot residential and commercial recreational) is consistent with the existing zoning <u>unless</u> public sewer is provided in which case this area would be suitable for business park development.
Site Located Along Growth Corridor?	The site is not located along a growth corridor.
Site Located within Activity Center?	The site is not located within an activity center.
Addressing	The new address will be assigned at the time of permitting.
Applicable Rezoning Consideration from Chapter B, Article VI, Section 6-2.1(R)	(R)(3) - Have changing conditions substantially affected the area in the petition?
	No
	(R)(4) - Is the requested action in conformance with Legacy 2030?
	Yes
Analysis of Conformity to Plans and Planning Issues	<p>The request is to rezone 92.66 acres of primarily undeveloped AG zoned property to LI-S. The petition also includes a request for SIDA as the site is located within the Abbotts Creek watershed. See the previous Analysis of Site Plan Compliance with UDO Requirements section in regard to the SIDA analysis.</p> <p>The proposed site plan includes one large industrial building with extensive parking, loading, and trailer storage areas. The proposed list of uses is relatively limited.</p> <p>The <i>Southeast Forsyth County Area Plan Update</i> identifies the subject property as being within a larger area which could be suitable for business park/industrial development <i>if</i> sewer service becomes available. This recommendation is based upon the sites proximity to the Union Cross/ US 311/I-74 interchange and its location across the street from the Union Cross Business Park.</p>

Regarding access to public sewer service, the proposed development is proposing the use of a private force main which would pump sewage to the existing gravity system which now serves said business park on the west side of Wallburg Road. Future industrial expansion beyond the boundaries of the subject property, may require significant investment to the sewer system infrastructure in this area.

As noted previously, the subject property has been identified as part of a larger industrial opportunity area which could provide much needed employment and tax base growth for Forsyth County. In an effort to maximize the comprehensive development of this area, Planning staff commends the developer for including a 5.74 acre parcel located directly across from the signalized intersection at Business Park Drive. The addition of this parcel will allow traffic issues to be addressed in a more coordinated manner and allow public street access to other properties further to the east. Staff also affirms the proposed berming and landscaping treatment along Wallburg Road and to a similar extent along Sherlie Weavil Road. This is intended to emulate and compliment the landscaping treatment which was provided along the opposite side of Wallburg Road for the Union Cross Business Park. This will help to visually screen the proposed large scale industrial improvements from the public's view. Similarly to minimize impacts and in order for the site to be developed in a manner which is compatible with the Union Cross Business Park, staff recommends conditions regarding signage and lighting.

Staff believes the request is consistent with the recommendations of the area plan and recommends approval of the subject request.

CONCLUSIONS TO ASSIST WITH RECOMMENDATION

Positive Aspects of Proposal	Negative Aspects of Proposal
The request is consistent with the recommendations of <i>Legacy2030</i> and the <i>Southeast Forsyth Area Plan Update</i> .	The request would generate additional traffic in the area.
The request meets the required findings for SIDA and it will allow for the creation of additional jobs and expansion of the tax base.	The request will extend industrial zoning closer to single family homes zoned RS40 and AG.
The site is located along a major thoroughfare with extra capacity and it is within close proximity to an interstate interchange.	The request will result in the loss of approximately 19.5 acres of farmland and will reduce the land within the SIDA bank by 92.66 acres.
The request includes a lighting and signage condition and will provide a landscaped berm along Wallburg Road.	
The request would initiate the eastward extension of Business Park Drive.	

SITE-SPECIFIC RECOMMENDED CONDITIONS OF APPROVAL

The following proposed conditions are from interdepartmental review comments and are proposed in order to meet codes or established standards, or to reduce negative off-site impacts.

- **PRIOR TO THE ISSUANCE OF GRADING PERMITS:**
 - a. Developer shall obtain a Watershed Permit from the Erosion Control Officer.
 - b. Developer shall obtain all necessary permits (including stormwater and wetlands impacts) from the NC Division of the Environment and Natural Resources (DENR) and/or the US Army Corp of Engineers.
 - c. Developer shall obtain a driveway permit from NCDOT. Improvements shall include:
 - Dedication of ten (10) feet of additional right-of-way along Wallburg Road and as necessary along Sherlie Weavil Road.
 - Dedication of right-of-way for the extension of Business Park Drive to the eastern property line.
 - Modification of the traffic signal at the intersection of Wallburg Road and Business Park Drive to add a fourth leg and provide a two-lane approach consisting of an exclusive left turn lane and a shared through/right lane.
 - Widen Wallburg Road 18 feet from center beginning 200 feet north of Business Park Drive with curb and gutter and sidewalk along the entire frontage.
 - Provide an exclusive southbound left turn and northbound right turn lanes on Wallburg Road at Business Park Drive and provide a minimum of 200 feet of full left turn storage and 100 feet of full right turn storage in addition to appropriate taper lengths.
 - Realign Sherlie Weavil Road to intersect opposite Enterprise Park Boulevard and widen the western portion of Sherlie Weavil Road between Wallburg Road and the easternmost truck entrance to three lanes.
- **PRIOR TO THE ISSUANCE OF BUILDING PERMITS:**
 - a. An engineered lighting plan shall be submitted to Inspections for the proposed lighting demonstrating the use of full-cut off fixtures, light height of 25' or less and no more than 0.5 foot-candles along the Wallburg Road and the Sherlie Weavil Road frontages.
 - b. The proposed building plans shall be in substantial conformance with the submitted elevations as shown on "Elevation A" as verified by Planning staff.
 - c. All utilities on the site shall be underground.
- **PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS:**
 - a. Lighting shall be installed per approved lighting plan and certified by an engineer.
 - b. Developer shall complete all requirements of the driveway permit.
 - c. All NCDENR requirements shall be completed.
 - d. Freestanding signage along Wallburg Road shall be limited to two (2) monument signs with a maximum height of eight (8) feet and a maximum copy area of seventy five (75) square feet.
 - e. Any chain link fencing shall not be visible from any public right-of-way.
 - f. Building shall be constructed in substantial conformance with the approved building elevations as approved by Planning staff.

STAFF RECOMMENDATION:

Zoning: Approval

SIDA: Approval

NOTE: These are **staff comments** only; final recommendations on projects are made by the City-County Planning Board, with final decisions being made by the appropriate Elected Body, who may approve, deny, table or request modification for any project. **THE APPLICANT OR REPRESENTATIVE IS STRONGLY ENCOURAGED TO ATTEND THE PUBLIC HEARINGS WHERE THE CASE WILL BE CONSIDERED BY THE PLANNING BOARD AND THE ELECTED BODY.**

CITY-COUNTY PLANNING BOARD

PUBLIC HEARING

MINUTES FOR F-1583

DECEMBER 13, 2018

Gary Roberts presented the staff report.

PUBLIC HEARING

FOR:

Steve Causey, Allied Design, 4720 Kester Mill Road, Winston-Salem, NC 27103

- We are requesting a rezoning from AG to LI-S. It is consistent with the recommendations in the Southeast Forsyth County Area Plan.
- We met with Planning staff at least three (3) times through the sketch plan process and they made it clear early on that employee parking, as well as trailer parking areas, needed to be screened. We worked with an acceptable solution of six-foot berms and the planting yards of evergreens and deciduous trees consistent with what has been done at Union Cross Business Park.
- Traffic was a concern so we did bring in Ramey Kemp & Associates for a traffic impact study. They prepared the traffic impact assessment that's been reviewed by the City and NCDOT and I believe found to be acceptable, with the improvements outlined in your report.
- We met with the neighbors on October 24. We sent out invitations to about 60 listed properties. We reached out about a thousand feet beyond the perimeter of the property. We had a pretty good turnout. The meeting was a little contentious and rowdy at times, but I think it was productive, at the end of the day. We provided some site plans and an overall aerial view of the area. We heard a lot of concerns about traffic.
- We requested a month continuance to work with DOT on road improvements. We did make three major modifications to the plan: Elimination of a driveway to the employee parking lot; clarification that we are not widening on the west side of Wallburg Road, adjacent to the residential properties; and improvement of internal circulation.
- We are requesting a SIDA allocation. We will be required to permit the stream impacts through the Corps of Engineers and North Carolina Division of Environmental Quality. We will probably be pursuing an individual permit. Final development is contingent on that permit. We will also be providing stormwater management.

Multiple points of ingress and egress were discussed, as well as whether large trucks near Sherlie Weavil Road would be sitting idle at any point in time. There will be a certain amount of staging accommodated on the site. There was also discussion with Utilities staff about sewer.

AGAINST:

Barry Greeson, 4228 Sherlie Weavil Road, Winston-Salem, NC 27107

- I'm here to speak on behalf of the majority of the neighbors on Sherlie Weavil Road. We are not necessarily supportive or against Medline, but there are some things that we would like to see adjusted. We sent in a list of items, which I will not go through each step, but I do want to expand on a few of them.
- There are two main concerns we have. One is lighting and noise reduction and the other is traffic. We want to make sure the illumination of the site is minimal as possible. According to the site plan, we've got a ratio of deciduous and evergreen trees. We wouldn't mind seeing more evergreens because in the wintertime deciduous tree leaves will be gone and the facility more visible. In the southeast corner it doesn't appear there is a berm or a buffer between the facility and the first houses in the neighborhood.
- The biggest issue to us is traffic. The traffic analysis, from my understanding, was done in 2015. Traffic is a lot higher now than it was three (3) years ago. This creates an issue at the Gumtree intersection. The speed limit should definitely be reduced.
- From the looks of the site plan, it appears that we will be driving through Medline's parking lot. What I would propose is that all Medline traffic enter at the light at the new Medline Drive. It's much safer for them to do that, instead of using Sherlie Weavil Road where we will be driving. There is already a road designed around the facility, to bring shipping and receiving through the site. I think that traffic flow needs to be a part of the Planning Board's consideration.
- It looks like the zoning requirement that we have now, which is type LI, is probably the minimal zoning allowance you would have for the Medline facility; in the future we want to make sure if Medline moves out that we're still restricting the type of building and operation with something as minimally evasive as Medline is.

Mr. Greeson, in response to a question of how many residents he is representing, responded that there are 24 homes on Sherlie Weavil Road and an adjoining road, and he is representing the majority of these households. These residents did participate in the public meeting, and changes due to the meeting were discussed. Providing a traffic light was discussed, as well as rerouting traffic.

Charlotte Idol, 4143 Wallburg Road, Winston-Salem, NC 27107

- I am for business and I really appreciate the jobs coming to Forsyth County. My concern at the neighborhood meeting and now is the traffic and the chaos. It is so dangerous to pull out on Wallburg Road. There are numerous wrecks all the time, and they're basically in my front yard or right at us. (Ms. Idol passed around photographs of car wrecks).
- I live at the intersection of Gumtree and Wallburg Road. I am not only concerned for us but also for my neighbors on Wallburg Road and on Sherlie Weavil Road. I just wanted to express that.

WORK SESSION

Gary Roberts explained that the petitioner has agreed to increase the evergreen ratio to 14 every hundred feet (versus the 12 noted on the site plan) on Sherlie Weavil Road, as well as Wallburg Road.

Chris Murphy explained that the section shown on the plan that was referred to does not require a streetyard. The areas that were required for a streetyard were requested to bump up to a 4 to 6-foot-high berm with the planting similar to the planting at the Union Cross Business Park. Since the area that was referred to by the speaker doesn't require a streetyard, they didn't bump that area up.

Mr. Causey said the petitioner would be willing to extend the berm and plantings. He explained two options: Keeping it along Sherlie Weavil, or put it up adjacent to the curb on site. It would certainly be reasonable in that area to wrap them around. The petitioner has agreed to 14 evergreens per hundred feet, plus the deciduous.

Gary Roberts mentioned the lighting condition would wrap all the way around that area as well. The lighting standard is a half-foot candle at the right-of-way line.

Employee parking and entrance were also discussed. Parking calculations are based on approximately 300 employees.

Jeff Fansler, WSDOT, 100 East First Street, Winston-Salem, NC 27101

- Traffic signal related to Sherlie Weavil is currently not warranted. Keep in mind that introducing an additional stop for Sherlie Weavil with much higher traffic volumes increases delay on Wallburg.
- I did review the TIA for all the assumptions and found it was satisfactory, with the improvements that you see spelled out in the conditions. Extended turn lanes to get traffic out of the thru movements is important to prohibit some of the rear-end collisions and delays experienced on that thoroughfare. The level of service overall does decrease, but is still satisfactory. The overall level of service at the Business Park Drive goes from a level of service B to a C -- still within our realm of acceptability.
- The turn movements at Sherlie Weavil with the extended turn lanes that the developer has agreed to provide gets the traffic out of the thru lanes and the level of service for those turning movements are satisfactory at an A or a B. They should operate at a B or better throughout the day.

Mr. Fansler was asked about the speed limit at 50 miles per hour and the justification for reducing that. Mr. Fansler answered the question by stating that it was an NCDOT-maintained road and would have to have their support. Historically, there have been issues with lowering speed limits on roads like this. Driver behavior indicates that unless we have law enforcement support for this, it does not always yield driver behavior unless we get the backing and actually issue tickets for enforcement. Lowering the speed limit is not always the solution.

Multiple-access points and traffic, gravity sewer and SIDA allocation were discussed.

Melynda encouraged the petitioner to keep working with the neighbors on the issues discussed due to the good progress that has been made, and concerns for truck access on Sherlie Weavil, and the dangers that that may pose in a residential area.

Margaret Bessette explained in more detail how the allocation of SIDA is set up.

MOTION: Chris Leak moved approval of the zoning petition and certified the site plan (including staff recommended conditions) meets all UDO requirements if the petition is approved with the following conditions: That additional plantings in the existing berm and buffer along Temple School Road and Sherlie Weavil Road will be installed, and that the berm and plantings continue along Sherlie Weavil Road to the bufferyard to screen the site from view of the neighbors.

SECOND: Tommy Hicks

VOTE:

FOR: George Bryan, Melynda Dunigan, Jason Grubbs, Tommy Hicks, Arnold King, Clarence Lambe, Chris Leak, Johnny Sigers, Brenda Smith

AGAINST: None

EXCUSED: None

Aaron King
Director of Planning and Development Services

F-1583 ATTACHMENT A
EXISTING USES ALLOWED IN THE AGZONING DISTRICT
Forsyth County Jurisdiction Only

USES ALLOWED WITH A PERMIT FROM THE ZONING OFFICER (Z)

Adult Day Care Home
Agricultural Production, Crops
Agricultural Production, Livestock
Agricultural Tourism
Animal Feeding Operation
Child Day Care, Small Home
Church or Religious Institution, Neighborhood
Family Group Home A
Fish Hatchery
Kennel, Outdoor
Police or Fire Station
Recreation Facility, Public
Residential Building, Single Family
Swimming Pool, Private
Transmission Tower (see UDO)

USES ALLOWED WITH REVIEW BY THE PLANNING BOARD (P)

Cemetery
Church or Religious Institution, Community
Golf Course
Landfill, Land Clearing/Inert Debris, 2 acres or less
Library, Public
Planned Residential Development
School, Private
School, Public
Utilities

USES ALLOWED WITH SPECIAL USE PERMIT FROM ZONING BOARD OF ADJUSTMENT (A)

Borrow Site
Campground
Child Day Care, Large Home
Dirt Storage
Fishing, Fee Charged
Habilitation Facility A
Manufactured Home, Class A
Manufactured Home, Class B
Manufactured Home, Class C
Nursing Care Institution

F-1583 ATTACHMENT A
EXISTING USES ALLOWED IN THE AGZONING DISTRICT
Forsyth County Jurisdiction Only

Park and Shuttle Lot
Recreational Vehicle Park
Riding Stable
Shooting Range, Outdoor
Special Events Center
Transmission Tower

**USES ALLOWED WITH SPECIAL USE PERMIT FROM ELECTED
BODY (E)**

Access Easement, Private Off-Site⁵
Landfill, Land Clearing/Inert Debris, greater than 2 acres

⁵*SUP not required if requirements of Section [B.2-5.2\(A\)](#) are met*



F-1583 Medline Industries Proposed Distribution Center



Bryce A. Stuart Municipal Building
100 East First Street, Suite 225
Winston-Salem, NC 27101
Fax: 336-748-3163

Phone: 336-747-7068

City of W-S Planning

Steve Causey
Allied Design, Inc.
4720 Kester Mill Road
Winston-Salem, NC 27103

Project Name: F-1583 Medline Industries Proposed Distribution
Center
Jurisdiction: City of Winston-Salem
ProjectID: 225547

Wednesday, October 24, 2018

The comments listed below reflect remaining issues that must be addressed before Planning staff can approve your request. Once these issues have been addressed, please bring two Mylars to the Planning office for approval and signature by the Review Officer.

Open Issues: 15

Erosion Control

General Issues

20. Erosion Control Plan Needed

City of Winston-Salem
Matthew Osborne
336-747-7453
matthewo@cityofws.org
10/15/18 9:41 AM
01.03) Rezoning-
Special Use District - 2

If the proposed project creates more than 10,000 sq. feet of land disturbance, an Erosion Control/Grading Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion and Sedimentation Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal at the following link: <https://winston-salem.idtplans.com/secure/>

21. Watershed Permit Needed

City of Winston-Salem
Matthew Osborne
336-747-7453
matthewo@cityofws.org
10/15/18 9:41 AM
01.03) Rezoning-
Special Use District - 2

The proposed project is within the Abbotts Creek Watershed which is regulated per Winston-Salem/Forsyth County UDO Chapter C, Article IV – Watershed Protection. This project must comply with the Winston-Salem/Forsyth County UDO Chapter C, Article IV – Watershed Protection requirements and provisions. The Environmental Grading and Erosion Control Permit will not be issued until compliance with the Watershed Protection requirements have been verified and a Watershed Protection Permit has been approved. Please submit for a Watershed Protection Permit through the electronic plan review portal at the following link: <https://winston-salem.idtplans.com/secure/>.

22. DWR 401 or USACE 404 Permits Needed

City of Winston-Salem
Matthew Osborne
336-747-7453
matthewo@cityofws.org
10/15/18 9:41 AM
01.03) Rezoning-
Special Use District - 2

Stream channel and/or wetland impacts are shown on this plan. US Army Corp of Engineers 404 and/or North Carolina Department of Environmental Quality - Division of Water Resources 401 permits may be required for these stream channel/wetland impacts. If these permits are required a Grading/Erosion Control Permit will not be issued until copies of these permits are provided. Please contact Sue Homewood with NCDEQ - DWR (336-776-9800) to determine if either of these permits will be required for this project.

[Ver. 2] [Edited By Matthew Osborne]

Fire/Life Safety

2018-09-04 Medline Industries Issued for Presubmittal Review.pdf [22 redlines] (Page 1)

18. Cloud+ B

Forsyth County Fire
Department
Scott Routh
336-703-2560
routhcs@forsyth.cc
10/10/18 1:24 PM
01.03) Rezoning-
Special Use District - 2

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

IDTP

2018-10-08 Medline Industries Issued for Planning Staff Approval.pdf [6 redlines] (Page 1)

15. Text Box B

City of Winston-Salem F-1583
Robert Solomon, Jr.
336-747-7064
roberts@cityofws.org
10/9/18 10:30 AM
Pre-Submittal Workflow
- 1

24. Callout B

MapForsyth BUSINESS PARK DR
Stacy Tolbert
3367477497
tolbersy@forsyth.cc
10/15/18 11:35 AM
01.03) Rezoning-
Special Use District - 2

Inspections

Viewed Data

28. Zoning Use

City of Winston-Salem

Jeff Hunter
336-727-2626
jeffph@cityofws.org
10/22/18 1:00 PM
01.03) Rezoning-
Special Use District - 2

- Grading plan required.
- Retaining walls require separate permits.
- Show 10' X 70' site triangle for proposed signage.
- Supplemental landscaping required per Section 3-4.3(C)(5) due to number of parking spaces exceeding 175% of minimum required.
- Building setbacks for the LI district is 20' in the front. Please correct legend.
- Landscaping: Document the type of vegetation, height and spacing requirements on the plan per UDO standards for the streetyard, MVSA parking, and bufferyards adjacent to AG zoning.
- If rezoned to LI-S, a special use district fee will be due.
- Show typical parking spaces and drive aisle dimensions.
- Parking spaces adjacent to sidewalks must contain anchored wheel stops unless the sidewalk width is a minimum of 7'.

MapForsyth Addressing Team

General Issues

23. Addressing & Street Naming

MapForsyth
Stacy Tolbert
3367477497
tolbersy@forsyth.cc
10/15/18 11:22 AM
01.03) Rezoning-
Special Use District - 2

Business Park Dr will be extended across intersection. Address will be issued upon approval.

NCDOT

General Issues

29. NCDOT Comments

NCDOT Division 9
Victoria Kildea
336-747-7900
vrkildea@ncdot.gov
10/22/18 4:01 PM
01.03) Rezoning-
Special Use District - 2

- NCDOT Driveway Permit required
- Encroachment Agreements required
- Road improvements required as previously discussed

Planning

Standard Issues

17. Design

City of Winston-Salem
Gary Roberts
336-747-7069
garryr@cityofws.org
10/24/18 10:48 AM
01.03) Rezoning-
Special Use District - 2

Provide lateral sidewalk connection from building entrance to sidewalk along Wallburg; provide street trees and sidewalk along Medline Drive; move midpoint driveway on Wallburg Road further south so it is not across from residential zoning; provide berm/bufferyard cross section, ensure compatibility with treatment across Wallburg; lighting condition; signage condition of two, 8' tall, 75sf in area freestanding signs; any fencing to be similar to what is across Wallburg, no chainlink.

[Ver. 2] [Edited By Gary Roberts]

25. Historic Resources

City of Winston-Salem No comments
Heather Bratland
336-727-8000
heatherb@cityofws.org
10/18/18 12:33 PM
01.03) Rezoning-
Special Use District - 2

2018-10-08 Medline Industries Issued for Planning Staff Approval.pdf [6 redlines] (Page 1)

27. Text Box B

City of Winston-Salem 10
Bryan Wilson
336-747-7042
bryandw@cityofws.org
10/22/18 8:34 AM
01.03) Rezoning-
Special Use District - 2

Stormwater

General Issues

16. Not in Winston-Salem's Jurisdiction for SWM

City of Winston-Salem This site is outside of the City of Winston-Salem limits and therefore the Post
Joe Fogarty Construction Stormwater review needs to be approved by the relevant jurisdictional
336-747-6961 authority
josephf@cityofws.org
10/10/18 10:01 AM
01.03) Rezoning-
Special Use District - 2

Utilities

General Issues

19. General Comments

City of Winston-Salem Any existing water and/or sewer connections will require evaluation for compliance with
Charles Jones backflow preventer requirements, connection serviceability, and/or termination at the
336-727-8000 main. Submit sewer extension plans to Utilities Plan Review for permitting/approval.
charlesj@cityofws.org Backflow preventer required on all water connections. Water meters purchased through
10/12/18 3:32 PM COWS. Sewer connection for force main connection will be to COWS Tech Spec C-
01.03) Rezoning- 27. NCDOT Encroachment Agreement required for any Utility work in the right-of-way.
Special Use District - 2

WSDOT

General Issues

30. TIA

City of Winston-Salem Install improvements per the TIA.
Jeffrey Fansler
336-727-8000
jeffreygf@cityofws.org
10/24/18 8:09 AM
01.03) Rezoning-
Special Use District - 2

**SUMMARY OF NEIGHBORHOOD MEETING
MEDLINE DISTRIBUTION
WALLBURG ROAD
ZONING DOCKET F-1583
Wednesday 7:00 p.m., October 24, 2018
Sedge Garden Recreation Center**

A neighborhood meeting was held with the neighbors in the vicinity of the property. Meeting invitations were mailed by the petitioner to the neighbors within an approximate 1,000-foot radius of the property. The mailing list and map of the property owners that the notice was sent to is attached as well as a copy of the sign-in sheet. A summary of the meeting follows:

Property owners began showing up at around 6:30 p.m. In attendance for the petitioner were: Dmitry Dukhan, Medline Industries.; Jay Luke representing Freeman Commercial Realty; Steve Causey and Wayne Barber representing Allied Design, Inc.; and Brett Oliver representing Oliver Design Studio.

A copy of the following documents were available and on display:

1. A copy of the Rezoning and Preliminary Site Plan
2. A colored/rendered version of the site plan
3. A plan showing sections and elevations through the site.
4. An overall aerial view of the subject property and the surrounding areas.

Property owners filtered in throughout the appointed time and small group discussions were held with the project representatives. A formal presentation was made, and the following is a summary of the discussions:

1. The request submitted to the Planning Board is for approval of a special use rezoning request for the subject property from AG to LI-S. This is a special use zoning request and the development will have to conform with the site-specific development plan. The request is consistent with the recommendation in the Southeast Forsyth County Area Plan.
2. The rezoning request will require approval through the City/County Planning Board and the County. The schedule of meeting dates was provided and information regarding the information available online was provided.
3. The proposed request will be heard at the City/County Planning Board Public Hearing on November 8, 2018, at 4:30 p.m. This will be an opportunity for the neighbors to express their concerns to the Board. A continuance request would push the public hearing to the second Thursday of the following month. The County Commissioner's public hearing will be scheduled after the Planning Board hearing.
4. A site plan Interdepartmental Review Meeting was held on October 24, 2018. Initial review comments and recommendations from the Planning Department Interdepartmental Review included:
 - a. Road improvements will be required.

- b. A condition to install additional plantings in the existing berm and buffer along Temple School Road.
 - c. A lighting condition to regulate height, amount and direction of site lighting.
5. A traffic impact analysis (TIA) has been completed by a subconsultant, Ramey Kemp, and is currently being reviewed the by the City and NCDOT. The report indicates that improvements will be required along Wallburg and Sherlie Weavil Road and will include improvements to the signal at Business Park Drive. The exact limits of improvements will be base on NCDOT City DOT recommendations.
 6. The petitioner is volunteering additional plantings and berms along Wallburg and Sherlie Weavil Roads to screen the building and parking areas.
 7. Permits will be required for stream and wetlands impacts. The final building size and configuration will be based on permit approvals.
 8. If the rezoning is approved in early 2019, preparation of permitting and construction documents would begin. We anticipate several months for permitting and construction could begin in summer 2019.

Some of the specific questions and concerns that were raised by the neighbors included:

Comment: Many neighbors complained about traffic along Wallburg Road; speeding is a problem; they feel entering and existing from driveways is dangerous. Traffic at the Gumtree Road intersection is a problem; accidents are not uncommon at this intersection; especially related to speeding in this area.

Comment: Neighbors were opposed to widening on the western side of Wallburg Road into their yard areas.

Response: The development team agreed to explore roadway improvement options that would not impact the properties on the west.

Comment: Some neighbors expressed that they were not necessarily opposed to this project but felt that traffic needs to be addressed.

Question: What will be done about traffic?

Answer: Widenings and signal and road improvements will be made as required by the City and NCDOT to ensure this area operates at an acceptable level of service. It was suggested that perhaps deputies or police officers could be stationed in the area at peak traffic times.

Question: How many employees will be at this facility?

Answer: 400 +/- at full build out.

Question: Will sewer be extended to the property?

Answer: Yes, public sewer will be extended along Business Park Drive to the subject property.

Question: Will there be dust during construction?

Answer: Yes, likely; but the development will require an erosion control permit and a condition of that will be dust control. Watering will likely be required.

Question: *Why do they have to develop this site and how was it chosen?*

Answer: The developer had specific selection criteria that included land size, proximity to the interstate and this geographical location. This property was identified and we began determining the suitability for the project. This included a conceptual review by the City/County Planning Department. The recommendations in the area plan seemed supportive of this type use/development.

Question: *Will trucks be entering and exiting from Shertie Weavil Road.*

Answer: Yes; the docks on the south side of the building are primarily for delivery.

Question: *Will a new stormwater management be provided?*

Answer: Yes, the stormwater systems will be designed and permitted in accordance with the state's requirements. There is no local program.

Question: *Will the property be lighted?*

Answer: Yes, the building and parking areas will be lighted; the lighting will be installed in accordance with the requirements to reduce and minimize light cast off onto adjacent properties.

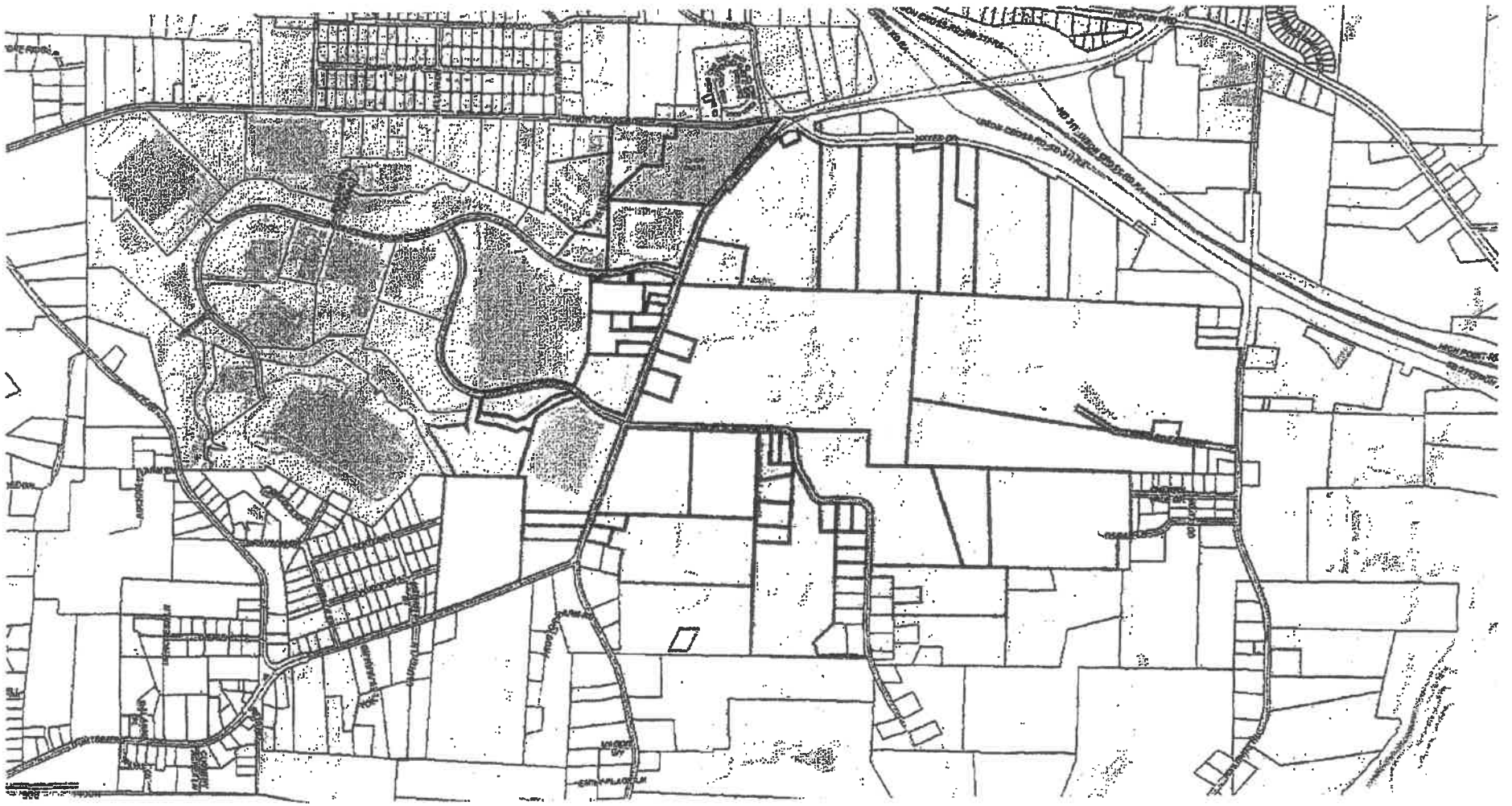
Question: *Could all of the trucks enter and exit from Medline Drive on the north?*

Answer: The development team agreed to investigate this option.

Question: *Could this building be expanded in the future?*

Answer: Not likely, we are pretty much filling all of the developable area west of the creek.

The meeting was concluded 8:30 p.m.



PEPSI BOTTLING VENTURES LLC
4141 PARKLAKE AVE STE 800
RALEIGH NC 27612

Idol Colon Wade
4143 Wallburg Rd
Winston Salem NC 27107

Fs Winston-salem Lic
721 NE 44th ST
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Wallburg Property Group Lic
2152 Stone Ridge PL
Winston-Salem NC 27107

Forsyth County
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Winston Salem NC 27107

Compton Aaron Wayne Compton Linda H
4220 Sherlie Weavil Rd
Winston Salem NC 27107

North Carolina Department Of
Transportation
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GIANNOPOULOS CHRIS TOM
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Squier Properties Lic
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Motsinger Gary D
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NEWSOM SHELIA MERRELL NEWSOM TIMMY Weavil Elizabeth S
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7005 N 109 Hwy
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Scottsdale AZ 85261

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Kernersville NC 27284

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Rt Union Cross I Llc
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Chicago IL 60661

Campos J Guadalupe Cruz Araceli
Escamilla
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4152 Sherlie Weavil Rd
Winston Salem NC 27107

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4228 Sherlie Weavil Rd
Winston Salem NC 27107

Ross Donald M Ross Mary Lou
4224 Sherlie Weavil Rd
Winston Salem NC 27107

Lall Larry Eugene Lall Renae Daniel
4229 Sherlie Weavil Rd
Winston Salem NC 27107

Giannopoulos Chris T
4008 Hayes Dr
Winston Salem NC 27107

WEAVIL KARL WAYNE
4530 PEBBLE LN
WINSTON-SALEM NC 27107

Silver Oak Properties Llc
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Winston-Salem NC 27107

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Winston Salem NC 27107

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5686 MEDALIST
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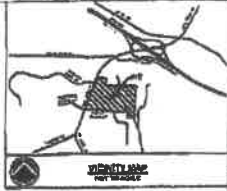
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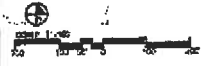
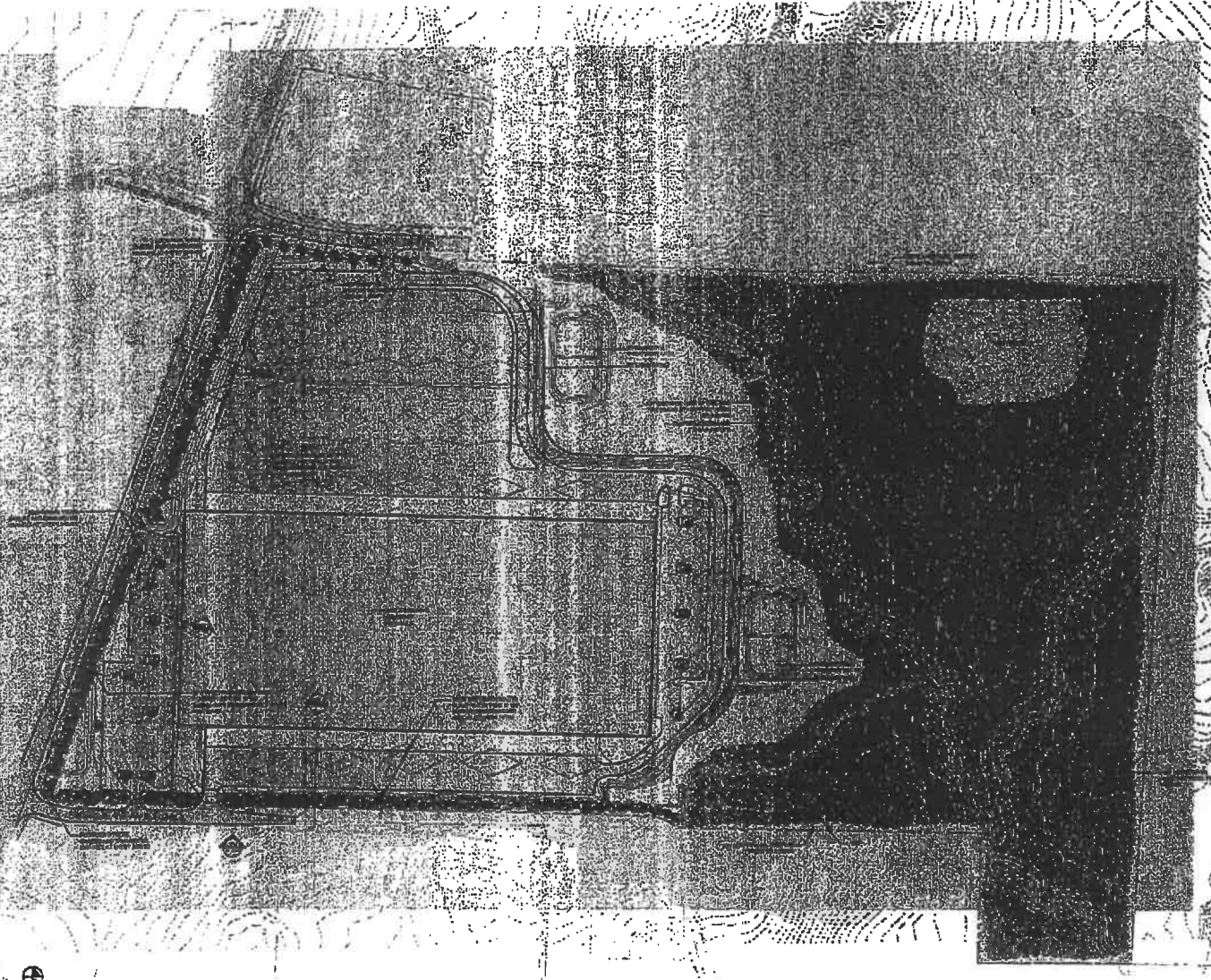
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Michael
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Bodenheimer Nancy M
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Leonard Judy-Lou E
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 www.chaparralstudio.com



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1	CONCEPTUAL SITE PLAN	11/11/11	AS	AS
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 PROPOSED DISTRIBUTION CENTER
 4000 LA JOLLA VILLAGE DRIVE
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CONCEPTUAL SITE PLAN

DATE: 11/11/11

SCALE: AS SHOWN

PROJECT NO: L-100

DATE: 11/11/11

SCALE: AS SHOWN

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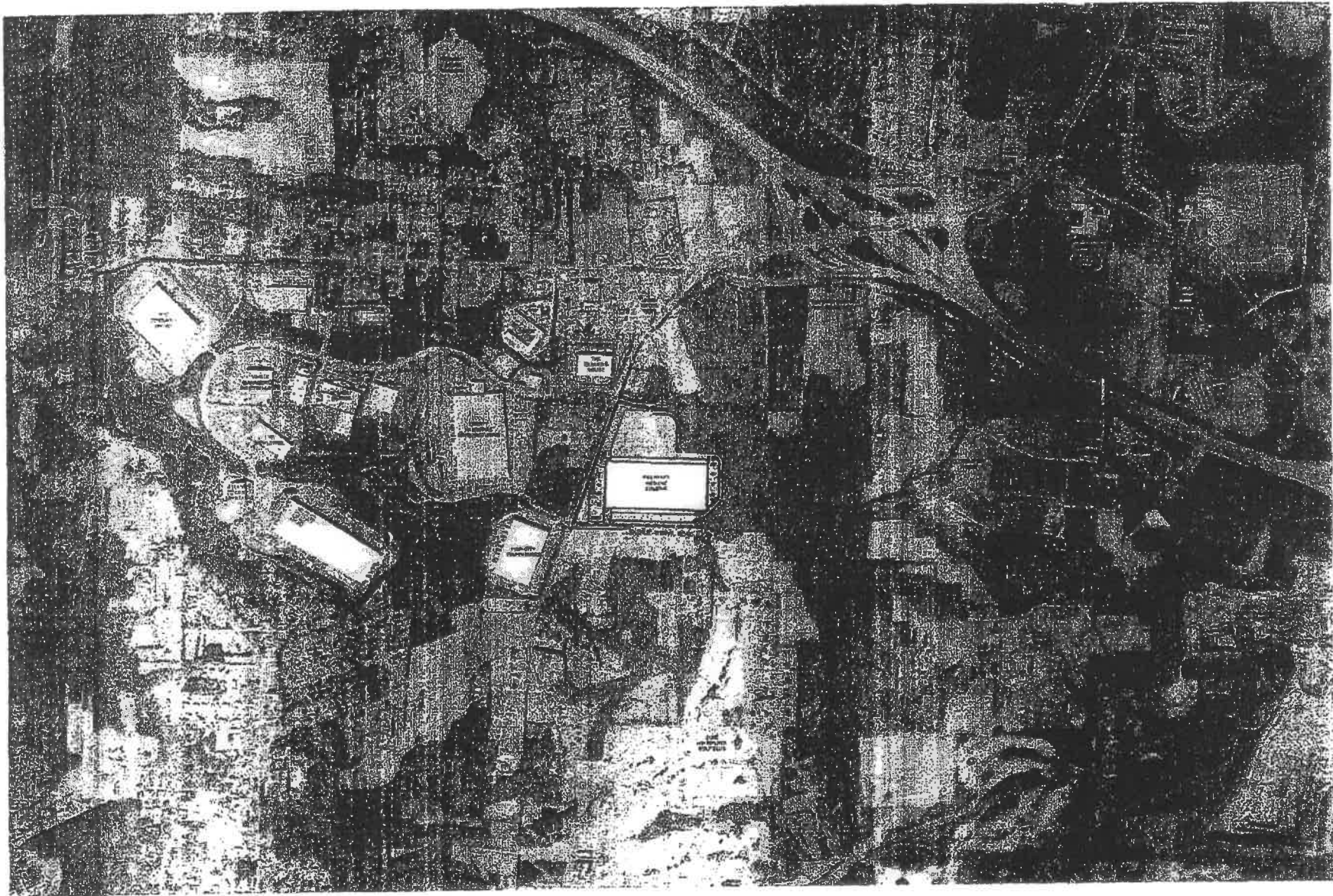
SCALE: AS SHOWN

PROJECT NO: L-100

DATE: 11/11/11

SCALE: AS SHOWN

PROJECT NO: L-100



**MEDLINE INDUSTRIES
PROPOSED DISTRIBUTION CENTER**

4075 WALLBURG ROAD
WINSTON-SALEM, NC



SIGN-IN SHEET

NEIGHBORHOOD MEETING
 MEDLINE DISTRIBUTION CENTER
 Wednesday, October 24, 2018, 7:00 pm

NAME	ADDRESS	PHONE	EMAIL
Charlotte Idol	4143 Wallburg Rd	336-817-3028	csi.jnk@gmail
Linda Motesinger	4225 Wallburg Rd	336-987-7168	lmo@inspcc.com
Wanda + Bill KERNAN	4220 SHERLIE WEAVER RD 41120, W. WALLBURG RD	336-769-3006	Wanda K Kernan
Alex Greeson	4228 Sherlie Weaver Rd.		alexgreeson@trk.com
Jane Greeson + Barry	4228 Sherlie Weaver Rd.	336-817-9155	
Bob Leah	1080 W 4th St	336-271-04	336-727-8755
DAVID KIRK	4140 Wallburg Rd	WS 27107	capt dskirk@me.com
DON + MARY ROSS	4224 SHERLIE WEAVER RD	336-769-4817	maryross456@yahoo.com
Vernon + Tracy Stone	4070 Wallburg Rd. W.S. N.C.	27107	
Barry + Mary Stone	4068 Wallburg Rd W.S. NC	27107	
Wayne + Linda Compton	4220 Sherlie Weaver Rd	WS, NC	27107

Tarra Jolly

Subject: FW: FW: Opposition to F1583

From: Paul Spinelli [mailto:pspinelli0516@gmail.com]
Sent: Thursday, October 25, 2018 5:02 PM
To: Tarra Jolly
Subject: Re: FW: Opposition to F1583

Tara,

After reading through the rezoning some more i noticed on the drawing the height of the building they are asking for is unlimited. This also is an issue from me. As many local residents including myself will be able to see a multi story building from my residence. I don't feel any of the board members would like to sit on their back deck and look at a multi story building. This location is not ideal for manufacturing or a multi story building. They need to look at other locations.

Thank you,
Paul Spinelli

From: Gary Roberts
Sent: Monday, October 22, 2018 3:26 PM
To: Tarra Jolly
Subject: Opposition to F1583

From: Paul Spinelli [mailto:pspinelli0516@gmail.com]
Sent: Monday, October 22, 2018 3:14 PM
To: Gary Roberts
Subject: Rezoning F1583

Gary,

Thank you for replying to my email and yes you can share this email with the Planning Board and the County Commissioners.

My concerns for the rezoning of F1583 for Medline Industries are as follows:

- It is going to add a lot of traffic to currently a residential only street,
- If I read this right it is going to be a manufacturing facility that will most likely be operating multiple shifts.

- Will add to light, noise and air pollution
- Is going to drop home value in the area,
- Will add a lot of impervious surface which will overflow existing tributaries that are currently flooding during rain events.(I know they will add retention basins but current rainfalls are far exceeding averages.)
- Typically crime rises near and around manufacturing facilities.
- This is a , Spot zoning,"refers to applying a map classification for purposes of the municipal zoning ordinance to a particular parcel of land without regard to its surrounding designations." That's a bad thing, not a good thing

Thank you,

Paul Spinelli

City of Winston-Salem
ONE TEAM
Committed to Excellence

All e-mails including attachments sent to and from this address are subject to being released to the media and the public in accordance with the North Carolina Public Records Law.

**NOTICE OF PUBLIC HEARING BEFORE THE
CITY-COUNTY PLANNING BOARD OF FORSYTH COUNTY
AND WINSTON-SALEM, NORTH CAROLINA ON
REZONING REQUESTS AND RELATED MATTERS**

Notice is hereby given in accordance with the requirement of applicable law that the City-County Planning Board will hold a public hearing in the Public Meeting Room on the fifth floor of the Bryce Stuart Municipal Building, 100 East First Street, Winston-Salem, North Carolina, at 4:30 P.M. on December 13, 2018 on the following rezoning and related matters:

1. Zoning petition of Raeford Kirkman, Lynn Hayes, and Inez Motsinger from AG to LI-S (Building materials Supply; Wholesale Trade A; Wholesale Trade B; Building Contractors, General; Offices; Services, A; Services, B; Storage Services, Retail; Testing and Research Lab; Warehousing; School, Vocational or Professional; Manufacturing A; Manufacturing B; Park and Shuttle Lot; Parking, Commercial; Transmission Tower; and Utilities) and a Special Intense Development Allocation (SIDA); property is located on the northeast corner of Wallburg Road and Sherlie Weavil Road; property consists of ±92.66 acres and is PIN#s 6863-44-1717, 6863-45-2154, 6863-45-6988, and 6863-55-7021 as shown on the Forsyth County Tax Maps and on a site plan on file in the office of the City-County Planning Board (Zoning Docket F-1583). Continued from the November 8, 2018 Planning Board meeting.

NOTE: TIME LIMIT FOR SPEAKERS: Speakers in favor and speakers in opposition of rezoning requests or related public hearing matters shall be limited to twelve (12) minutes total speaking time for each side. All speakers should register prior to the meeting. Registration will begin at 4:00 P.M. inside the Public Meeting Room.

The City of Winston-Salem does not discriminate on the basis of race, sex, color, age, national origin, religion or disability in its employment opportunities, programs, services or activities.

All requests for appropriate and necessary auxiliary aids and services must be made within a reasonable time prior to the hearing to the Director of Planning and Development Services at (336) 747-7061.

BY DIRECTION OF THE CITY-COUNTY PLANNING BOARD

Aaron King
Director of Planning and Development Services

Please publish once in the JOURNAL on **Thursday**, November 29, 2018.

BOLD HEADING- Single Column

Please submit one (1) copy of the affidavit of publication and your charges to the City-County Planning Board.

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